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# UPSHUR COUNTY, TEXAS

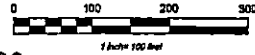
## M.F. FLORES SURVEY, A-2

FILED  
TERRIROSS  
COUNTY CLERK

2021 JUN -1 AM 9:53

UPSHUR COUNTY, TX.

BY *[Signature]*  
Called 16,000 Acres  
201908908 U.C.D.P.R.  
Joyce Tabert  
File No. 201903295 U.C.D.P.R.



**Metas and Bounds Description**

All that certain tract or parcel containing 8.597 acres of land in the M.F. Flores Survey, A-2, Upshur County Texas, being a portion of a called 12.879 acre tract of land described in a deed from Glmaw Forestry Management, LLC, to Richard & Janice Investments, LLC, recorded in File Number 201908908 (UCOPR), said 8.597 acres being more particularly described by metas and bounds as follows.

BEGINNING at a 1/2" iron rod with plastic cap stamped "Gatons Surveying RPLS 8265 found on the north line of said 12.879 acre tract, the northeast corner of a called 0.928 acre tract described in a deed to Katie Taylor Williams and Brett David Williams, recorded in File No. 202005007 (UCOPR), and on the south line of a called 16,000 acre tract described in a deed to Lance Andrew Tabert, and Melissa Joyce Tabert, recorded in File No. 201903295 (UCOPR);

THENCE N 88° 25' 21" E, 359.91 feet to 1/2" iron rod found for the northeast corner of said 12.879 acre tract and the northwest corner of a called 22.54 acre tract described in a deed to Georgia Pacific WFS, LLC, recorded in File No. 201506737, (UCOPR);

THENCE S 02° 00' 39" E, with the west line of said 22.54 acre tract, and the east line of said 12.879 acre tract, 1022.93 feet to 1/2" iron rod found on the north right of way of State Highway 154 for the southeast corner of said 12.879 acre tract, and the southwest corner of said 22.54 acre tract.

THENCE N 04° 55' 22" W, with the north right of way of said Highway 31 and the south line of said 12.879 acre tract, 473.70 feet to a set 1/2" iron rod.

THENCE N 00° 22' 02" E, across said 12.879 acre tract, passing the southeast corner of a called 0.918 acre tract, described in a deed to Ryan Chance Hinson, recorded in File No. 202100049 (UCOPR), then passing the southeast corner of a called 0.918 acre tract described in a deed to Randall Canady, and Anjolina Canady, recorded in File No. 202005278, (UCOPR), the passing the southeast corner of said Williams 0.918 acre tract, continuing a total distance of 810.30 feet to the PLACE OF BEGINNING containing 8.597 acres, more or less.

**Notes**

- All bearings are based upon Grid North and referenced to the Texas State Plane Coordinate System (NAD 83) North Central Zone as derived from GPS observations.
- This survey was performed without the benefit of being furnished a title commitment, assessments and/or other matters and/or issues related to title could and may exist.
- The purpose of this plat is to create a 11 lot residential subdivision.

Lot No.	Area (Acres)	Area (Sq. Ft.)
1	0.630	43,200
2	0.633	43,300
3	0.650	44,500
4	0.631	43,200
5	0.628	43,000
6	0.628	43,000
7	0.601	41,200
8	0.627	42,800
9	0.856	58,800
10	0.949	65,200
11	1.708	117,400

**SURVEYORS CERTIFICATE**

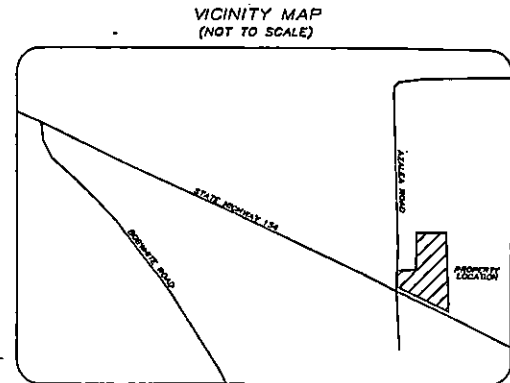
I, R. Austin Holland, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that this plat is true and correct and represents the results of a survey made on the ground under my supervision of a subdivision of 8.597 acres, being part of a called 12.879 acre tract described in a deed to Richard and Janice Investments, LLC recorded in Document No. 201908908 U.C.D.P.R. This plat was made in accordance with the current procedures and practices as established by the Texas Board of Professional Land Surveying Practices Act, as amended.

GIVEN UNDER MY HAND AND SEAL, this \_\_\_\_\_ day of \_\_\_\_\_, 2021

*[Signature]*  
R. Austin Holland R.P.L.S. 6158

**SETBACK REQUIREMENTS**

Side: 10' minimum from the side boundary lines



**APPROVAL OF PLAT BY COMMISSIONERS COURT**

The Upshur County Texas Commissioners Court has this date approved the plat of successores SUBDIVISION for filing.

Signed this 28th day of June, 2021.

County Judge

Commissioner

Commissioner

Commissioner

Commissioner

**OWNERS STATEMENT**

STATE OF TEXAS  
COUNTY OF Upshur

I, Richard Gage owner of property shown herein do hereby accept this as the plat for the subdividing this lots and blocks, and do hereby dedicate to the public forever the street rights of ways, and easements as shown unless specified as private unless otherwise stated.

Signed this 28th day of June, 2021

*[Signature]*  
Richard Gage  
Owner

**ACKNOWLEDGMENTS**

STATE OF TEXAS  
COUNTY OF Upshur

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021, by Richard Gage

Given under my hand and seal of office

*[Signature]*  
Notary Public in and for \_\_\_\_\_ County, Texas

Called 22.54 Acres  
Georgia Pacific WFS, LLC  
File No. 201506737, U.C.D.P.R.

RUTH WHITESIDE  
Notary Public  
State of Texas  
ID # 722005-4  
My Comm. Expires 01-13-2023



### PRELIMINARY PLAT GREENBRIAR SUBDIVISION

LOTS 1-11  
8.597 Acres  
UPSHUR COUNTY, TEXAS